

Ellsworth AFB

General Location

225th St

225th St

Douglas Middle School

N Ellsworth Rd

Tower Rd

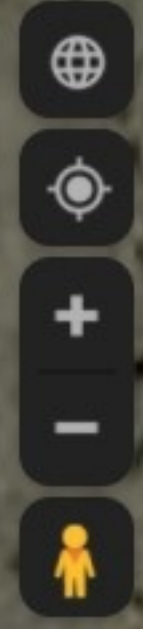
South Dakota Air and Space Museum

Liberty Blvd

Liberty Blvd

Prairie Ridge Golf Course

Liberty Blvd

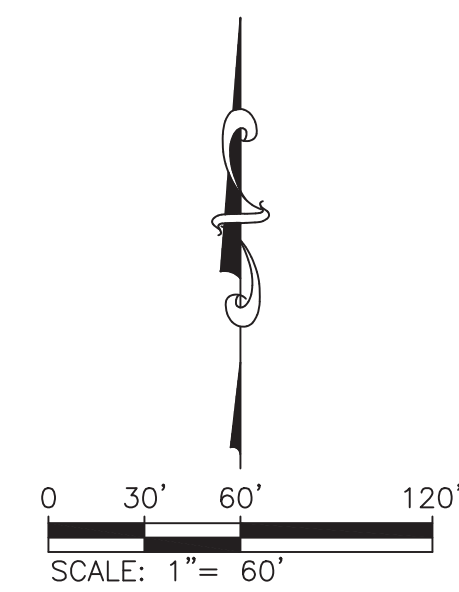
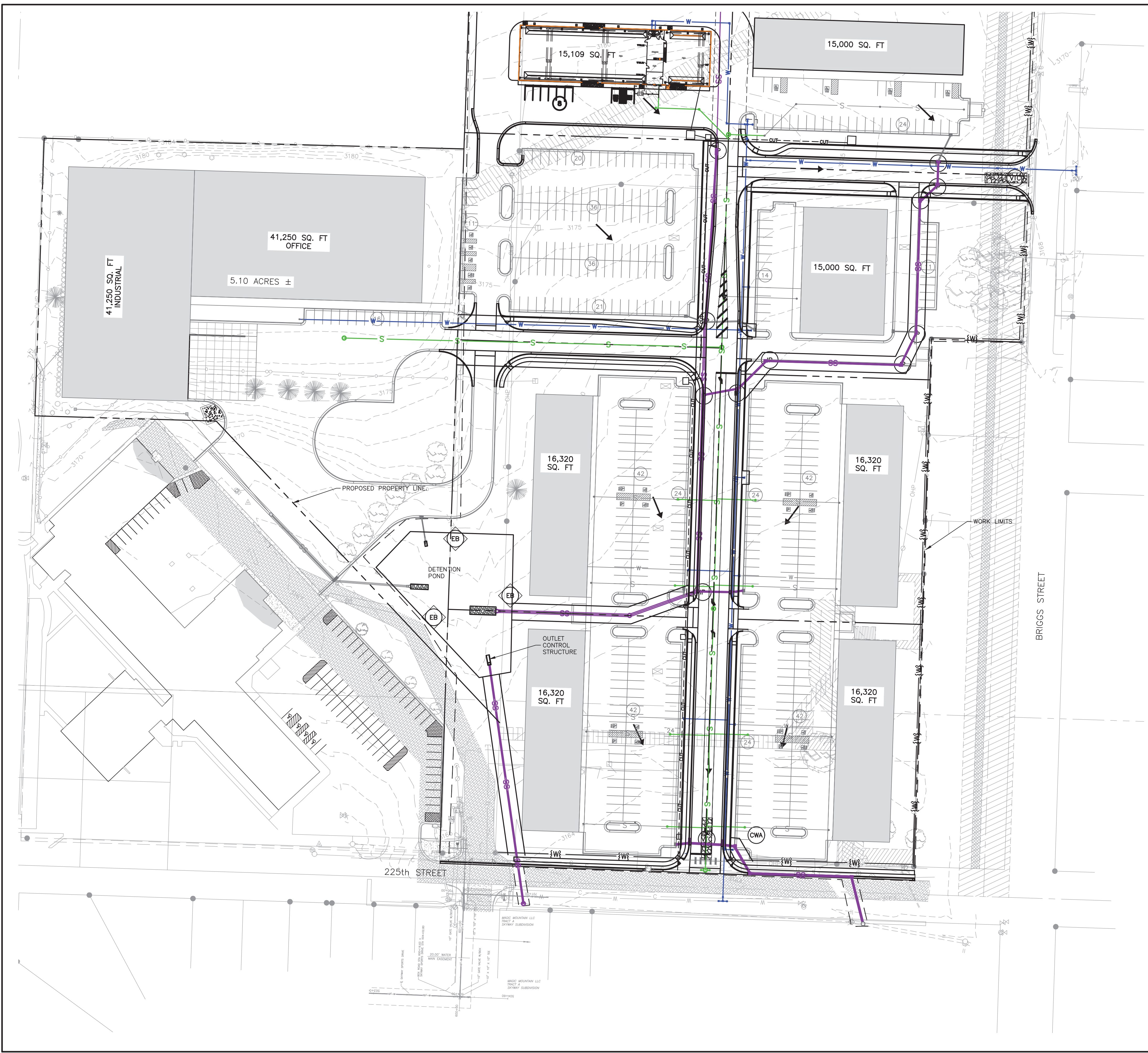




Project Site

Meade

Pennington



LEGEND

- (IP) INLET PROTECTION
- (VTC) VEHICLE TRACKING CONTROL (MAY BE RELOCATED)
- {W} SEDIMENT CONTROL WATTLE 8" DIA. COMPOST SOCK
- DRAINAGE DIRECTION
- (CWA) CONCRETE WASHOUT AREA (MAY BE RELOCATED)
- (EB) EROSION CONTROL BLANKET (CATEGORY 2)
- [RIP] RIP RAP

MINIMUM REQUIREMENTS:
 EROSION BMPs SHOWN ARE TO BE TAKEN AS THE MINIMUM REQUIREMENT. STABILIZED CONSTRUCTION ENTRANCE LOCATION SHALL BE SELECTED BASED ON THE PHASE OF WORK AND ACTUAL ACCESS LOCATION BEING USED FOR CONSTRUCTION.

ADDITIONAL EROSION/SEDIMENT CONTROL METHODS SHALL BE EMPLOYED BY THE CONTRACTOR AS NECESSARY TO INSURE THAT SEDIMENT/POLLUTANTS DO NOT LEAVE THE SITE. CONTRACTOR SHALL ADJUST HIS/HER EROSION AND SEDIMENT CONTROL MEASURES AS APPROPRIATE DURING THE COURSE OF THE WORK.

DETAILS:
 REFER TO THE NEXT SHEET FOR EROSION CONTROL DETAILS.

STORM SEWER INLET PROTECTION:
 DURING THE COURSE OF DEMOLITION AND CONSTRUCTION, EXISTING AND PROPOSED STORM INLETS SHALL BE COVERED/ PROTECTED/ FILTERED/ SEALED AS APPROPRIATE TO PREVENT SILT & POLLUTANTS FROM ENTERING THE EXISTING AND PROPOSED STORM SEWER COLLECTION AND DISCHARGE PIPING.

PHASED CONSTRUCTION:
 APPROPRIATE EROSION CONTROL AND SILT COLLECTION METHODS SHALL BE EMPLOYED AT THE DOWN GRADIENT TERMINUS OF EACH PHASE OF CONSTRUCTION, AS THE WORK PROGRESSES.

ALL DISTURBED AREAS:
 ALL DISTURBED AREAS NOT HARD-SURFACED TO RECEIVE 4" OF TOPSOIL AND FERTILIZED, SEEDED, AND HYDRO-MULCHED.
 HYDRO-MULCH: BONDED FIBER MAT (CONWED FIBERS 2500 BFM BY PROFILE PRODUCTS, LLC.) AT 100% COVERAGE. REMOVE WATTLES AFTER VEGETATION IS ESTABLISHED.

SEEDING:
 SEED MIX SHALL BE NON-IRRIGATED LAWN MIX. SEEDING SHALL BE INCREASED 1.5 TIMES THE STANDARD SPECIFICATION AMOUNT.

ESCP (EROSION AND SEDIMENT CONTROL PLAN):
 EROSION CONTROL MEASURES SHOWN ON THIS SHEET SHALL BE TAKEN AS THE MINIMUM REQUIRED. IT IS THE CONTRACTORS RESPONSIBILITY TO AUGMENT THESE MINIMUM REQUIREMENTS AS NEEDED TO PREVENT SEDIMENT/CONTAMINANTS FROM LEAVING THE BOUNDS OF THE PROJECT. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO PREVENT SEDIMENT FROM LEAVING THE SITE, AND TO PRESERVE THE CONSTRUCTED CUTS AND FILLS. CONTRACTOR MAY USE THIS PLAN SHEET AS A STARTING POINT IN THE CONTRACTOR'S ESCP.

IN-PROCESS EROSION CONTROL:
 DURING THE COURSE OF CONSTRUCTION, RUNOFF DIVERSIONS, TEMPORARY SILT DAMS, SILT FENCE, ETC. MAY BE NEEDED TO CONTROL SILT MIGRATION DURING THE WORK. CONTRACTOR SHALL APPLY BMPs AS NEEDED.

WATTLE INSTALLATION TIMING:
 TEMPORARY WATTLES MAY NEED TO BE USED AS AN INTERIM EROSION CONTROL BMP DURING THE COURSE OF THE GRADING OPERATION. SOME LOCATIONS MAY NEED A SECOND INSTALLATION TO KEEP EROSION FROM STARTING, DEPENDING ON WEATHER CONDITIONS AND CONTRACTORS PHASING OF THE WORK.

WATTLE REMOVAL:
 CONTRACTOR TO REMOVE AND DISPOSE ALL WATTLES UPON RE-ESTABLISHMENT OF TURF.

TURF REINFORCEMENT MAT:
 INSTALL MAT IMMEDIATELY AFTER SEEDING AND MULCHING. INSTALL PER MANUFACTURERS INSTRUCTIONS.

MAINTENANCE OF SLOPES:
 CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR MAINTAINING THE SLOPES TO INSURE THAT THE SEEDED SLOPES ARE FREE FROM WASHES AND RILLS. TOPSOIL WASHES DOWNSLOPE OR LOST TO EROSION SHALL BE REPLACED. ALL AREAS DISTURBED BY MAINTENANCE SHALL BE RE-SEEDED AND THE APPROPRIATE EROSION BMP RE-INSTALLED.

WATTLES SHOWN ON THE PLAN ARE FOR INTERIM EROSION CONTROL AND MAY BE OMITTED IF TOPSOIL, SEED, FERTILIZER, AND EROSION BLANKET ARE INSTALLED ON THE SLOPES IMMEDIATELY AFTER SLOPES ARE CONSTRUCTED. IT IS EXPECTED, HOWEVER, THAT TEMPORARY EROSION CONTROL METHODS WILL BE NECESSARY DURING SLOPE CONSTRUCTION.

INSTALL CATEGORY 2 EROSION CONTROL BLANKET ON ALL 3:1 SLOPES IMMEDIATELY AFTER INSTALLING 4" OF TOPSOIL, SEEDING, AND FERTILIZING. CATEGORY 2 EROSION CONTROL BLANKET PER SECTION 146 OF THE CITY OF RAPID CITY SPECIFICATIONS.

SILT COLLECTION FACILITY:
 THE STORMWATER TREATMENT POND SHALL ACT AS A SILT COLLECTION FACILITY DURING CONSTRUCTION. CONSTRUCT THIS POND AT BEGINNING OF CONSTRUCTION. SEE NOTES AT POND.

RIPRAP:
 SEE NEXT SHEET FOR RIPRAP CONSTRUCTION REQUIREMENTS. SEE UTILITY PLAN SHEET FOR DIMENSIONS AND LOCATIONS.

DETENTION POND:
 PONDS TO BE OWNED, INSPECTED, AND MAINTAINED BY LANDOWNER. ANY SEDIMENTATION TRANSPORTED OFFSITE DUE TO FAILURE OF POND(S) SHALL BE REMOVED AND CLEANED AT THE EXPENSE OF THE POND(S) OWNER.

RENNER ASSOCIATES, LLC
 CIVIL ENGINEERING • LAND SURVEYING
 3223 TEEWINGET DRIVE, RAPID CITY, SD 57703
 PH: 605.721.7310

Designed By: ILG	Drawn By: ILG
Design Date: 2020	Print Date: 3/25/21
Surveyed By: RENNER	Survey Date: 2020

Date	Description

INNOVATION WAY & HRC

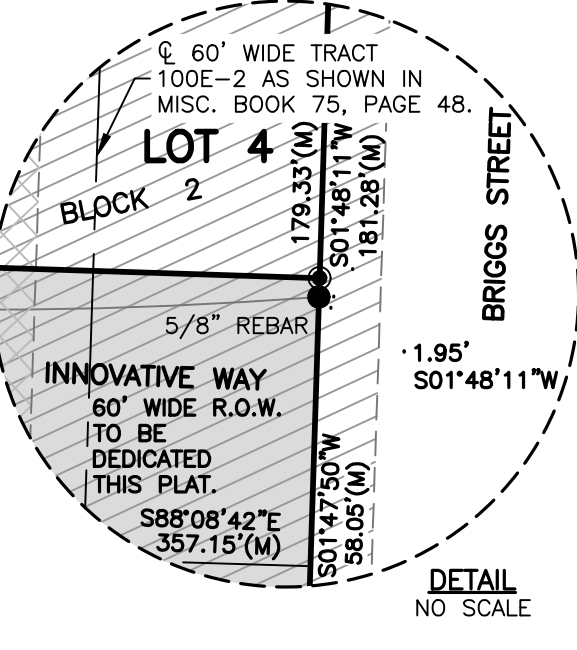
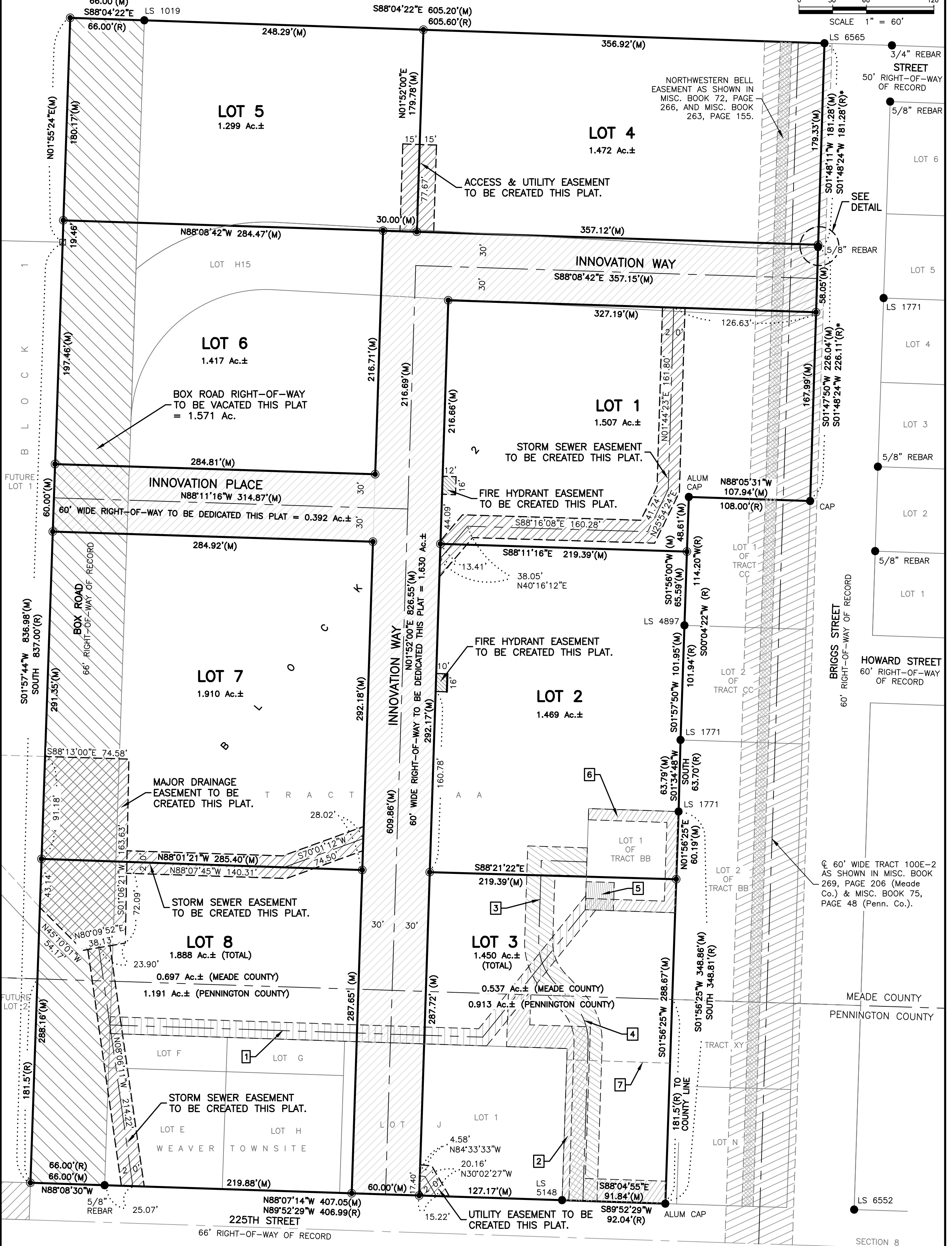
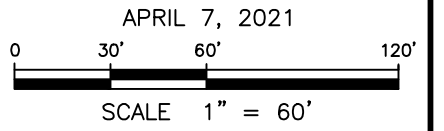
Prepared For: CENTURY COMPANIES	Internal Job No: 2284.15
Sheet Title: EROSION & SEDIMENT CONTROL PLAN	

C-104

PLAT OF LOTS 1-8 OF BLOCK 2, INNOVATION WAY & INNOVATION PLACE RIGHT-OF-WAYS, FREEDOM PARK SUBDIVISION

(formerly a portion of Tract AA, Lot H15 of Tract AA, Lots E, F, G, H, J,
Lot 1 of Tract BB & Lot 1 of Lot J of Weaver Townsite)
LOCATED IN SW1/4 OF SW1/4 OF SECTION 8, T2N, R9E, BHM,
CITY OF BOX ELDER, MEADE COUNTY, PENNINGTON COUNTY, SOUTH DAKOTA

ELLSWORTH AIR FORCE BASE



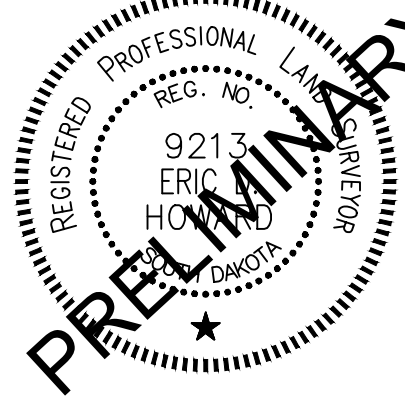
LEGEND

- Denotes set 5/8" rebar with survey cap marked "Renner - Assoc. 9213".
- ⊠ Denotes set PK.
- Denotes Found Survey Monument marked LS 9961, unless otherwise noted.
- (R) Denotes Recorded in previous plat or description.
- (M) Denotes Measured in this survey.
- (R)* Denotes Recorded in previous plat or description. Bearings are State Plane Coordinate System.

BASIS OF BEARINGS:
SOUTH DAKOTA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83(2011), FROM RAPID CITY CONTROL POINT SYSTEM.

UTILITY AND MINOR DRAINAGE EASEMENTS: 8' ON THE INTERIOR SIDES OF ALL LOT LINES OR ACCESS EASEMENT LINES.

ANY MAJOR DRAINAGE EASEMENT SHOWN HEREON SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT, AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.

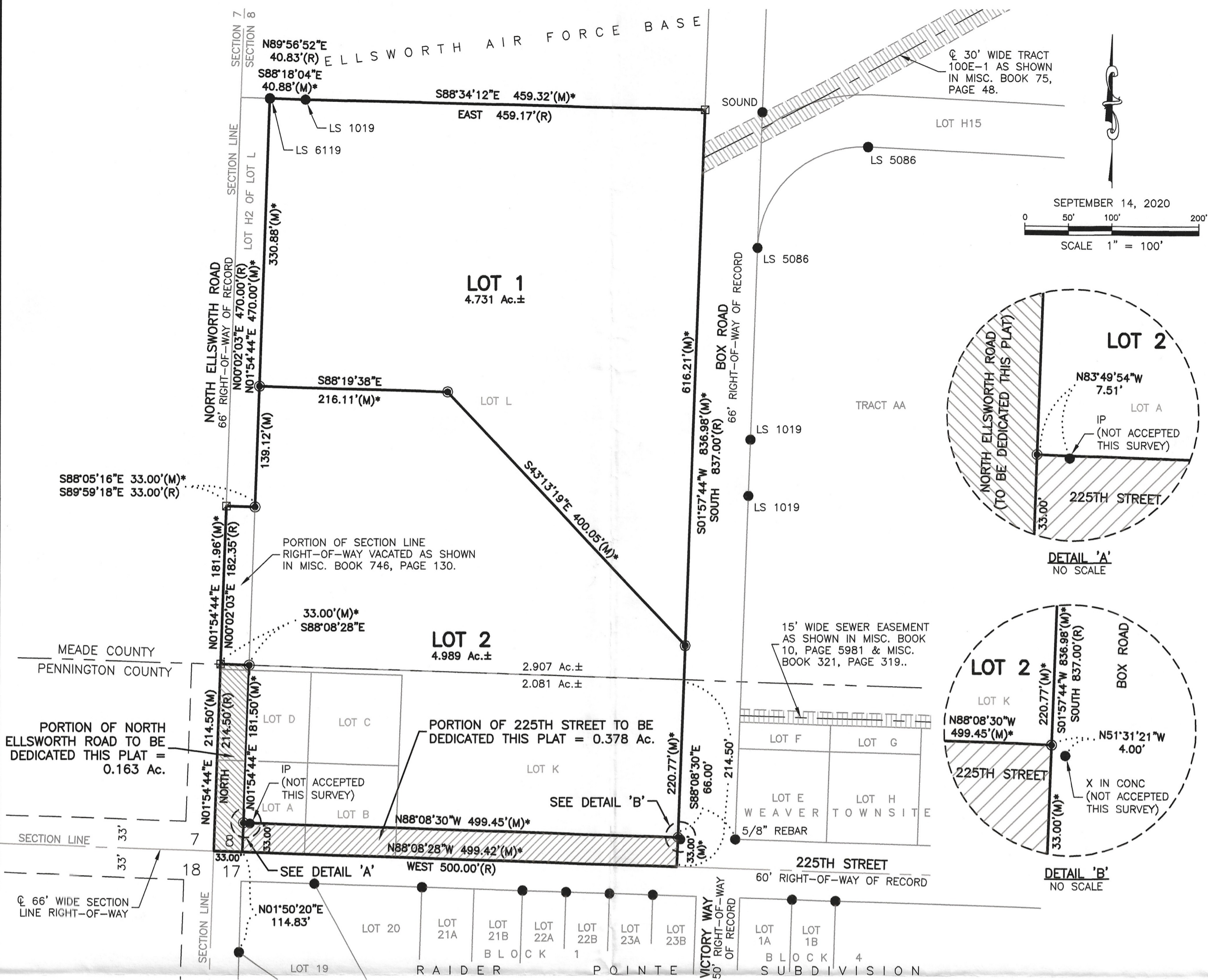


NOTES

- 1 15' WIDE SEWER EASEMENT AS SHOWN IN MISC. BOOK 10, PAGE 5981 & MISC. BOOK 351, PAGE 837. TO BE VACATED THIS PLAT.
- 2 APPROXIMATE LOCATION OF 20' WIDE BH CORP EASEMENT AS SHOWN IN MISC. BOOK 44, PAGE 9875. TO BE VACATED THIS PLAT.
- 3 25' WIDE ACCESS EASEMENT AS SHOWN IN PLAT BOOK 17, PAGE 95. TO BE VACATED THIS PLAT.
- 4 25' WIDE ACCESS EASEMENT AS SHOWN IN MISC. BOOK 363, PAGE 798 (Meade Co.) & MISC. BOOK 14 PAGE 9562 (Penn. Co.). TO BE VACATED THIS PLAT.
- 5 EASEMENT FOR SEWAGE LIFT STATION AS SHOWN MISC. IN BOOK 351, PAGE 837 (Meade Co.) & MISC. BOOK 10, PAGE 5981 (Penn. Co.). TO BE VACATED THIS PLAT.
- 6 10' WIDE UTILITY EASEMENT AS SHOWN IN PLAT BOOK 17, PAGE 95. TO BE VACATED THIS PLAT.
- 7 WATER LINE EASEMENT AS SHOWN IN MISC. BOOK 7, PAGE 7751. TO BE VACATED THIS PLAT.

S:\2284.13 VRC - Expansion\PLAT\2284.13 PLAT2_LOTS 1-8, BLK 2 and INNOVATION WAY - FREEDOM PARK.dwg, 4/7/2021 1:14:15 PM

PLAT OF
LOT 1 & LOT 2 OF BLOCK 1 OF FREEDOM PARK SUBDIVISION
 (formerly Lot A, B, C & D, Lot K and Lot L of the SW1/4 of SW1/4 of Section 8, T2N, R9E, BHM)
 LOCATED IN SECTION 8, T2N, R9E, BHM, CITY OF BOX ELDER, PENNINGTON COUNTY & MEADE COUNTY, SOUTH DAKOTA



CERTIFICATE OF OWNERSHIP

State of South Dakota
 County of Pennington S.S.

I, _____ of VRC Property Management, LLC., do hereby certify that we are the owners of the tract of land shown and described hereon, that the survey was done at our request for the purposes indicated hereon, and that we do hereby approve the survey and within plat of said land, and that development of this land shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations.

Any land shown on the within plat as dedicated to public right-of-way is hereby dedicated to public use and public utility use as such forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.

OWNER: VRC Property Management, LLC.

BY: _____

On this ____ day of _____, 20____, before me, a Notary Public,

personally appeared _____, known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed they same.

NOTARY PUBLIC: _____

My commission expires: _____

CERTIFICATE OF FINANCE OFFICER

City of Box Elder
 County of Pennington S.S.

I, Finance Officer of the City of Box Elder, do hereby certify that all special assessments that are liens upon any land included within such plat are fully paid according to the records of my office.

Dated this ____ day of _____, 20____.

 Finance Officer of the City of Box Elder

CERTIFICATE OF PLANNING COMMISSION

City of Box Elder
 County of Pennington S.S.

I, Planning Director of the City of Box Elder, have reviewed this plat and have found it to conform to the Subdivision requirements of the City of Box Elder and as such, I do hereby certify that the Planning Commission of the City of Box Elder has approved this Final Plat as shown hereon.

Dated this ____ day of _____, 20____.

 Planning Director

RESOLUTION BY GOVERNING BOARD

City of Box Elder
 County of Pennington S.S.

WHEREAS there has been presented to the Common Council of the City of Box Elder, South Dakota, the within plat of the above described lands, and it appears to this Council that:

- The system of streets conforms to the system of streets of the existing plat and section lines of the City,
- Adequate provision is made for access to adjacent unplatted lands by public dedication or section line when physically accessible,
- All provisions of the City Subdivision regulations have been complied with,
- All taxes and special assessments upon the property have been fully paid, and
- Such plat and survey thereof have been executed according to the law.

NOW THEREFORE, BE IT RESOLVED that said plat is hereby approved in all respects.

 Mayor, City of Box Elder Date

 Finance Officer of the City of Box Elder Date

LEGEND

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- (M)* Denotes Measured in this survey. Bearings are based on City of Rapid City Survey Control Network: NAD83 (2011)

BASIS OF BEARINGS:
 SOUTH DAKOTA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83(2011), FROM RAPID CITY CONTROL POINT SYSTEM.

UTILITY AND MINOR DRAINAGE EASEMENTS: 8' ON THE INTERIOR SIDES OF ALL LOT LINES.

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CERTIFICATE OF SURVEYOR

State of South Dakota
 County of Pennington S.S.

I, Eric D. Howard, Registered Land Surveyor No. 9213 in the State of South Dakota, do hereby certify that at the request of the owners listed hereon, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plat is a representation of said survey. Easements or restrictions of miscellaneous record or private easements that are not known to me are not shown hereon.

In witness whereof, I have hereunto set my hand and seal.

 Eric D. Howard, Registered Land Surveyor Date:

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed lot lines with respect to the Highway or Street as shown hereon, is hereby approved. Any approaches or access to the Highway or Street shall require additional approval.

Dated this ____ day of _____, 20____.

 Highway or Street Authority

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands are fully paid according to the records of my office.

Dated this ____ day of _____, 20____.

 Treasurer of Pennington County

CERTIFICATE OF DIRECTOR OF EQUALIZATION

I, Director of Equalization of Pennington County, do hereby certify that I have on record in my office a copy of the within described plat.

Dated this ____ day of _____, 20____.

 Director of Equalization of Pennington County

APPROVED: _____
 Director of Equalization of Pennington County

CERTIFICATE OF REGISTER OF DEEDS

State of South Dakota
 County of Pennington S.S.

Filed this ____ day of _____, 20____, at ____ o'clock

_____.M. in Document No. _____

 Register of Deeds of Pennington County Fee: \$

